

Planning Committee

21st March 2022

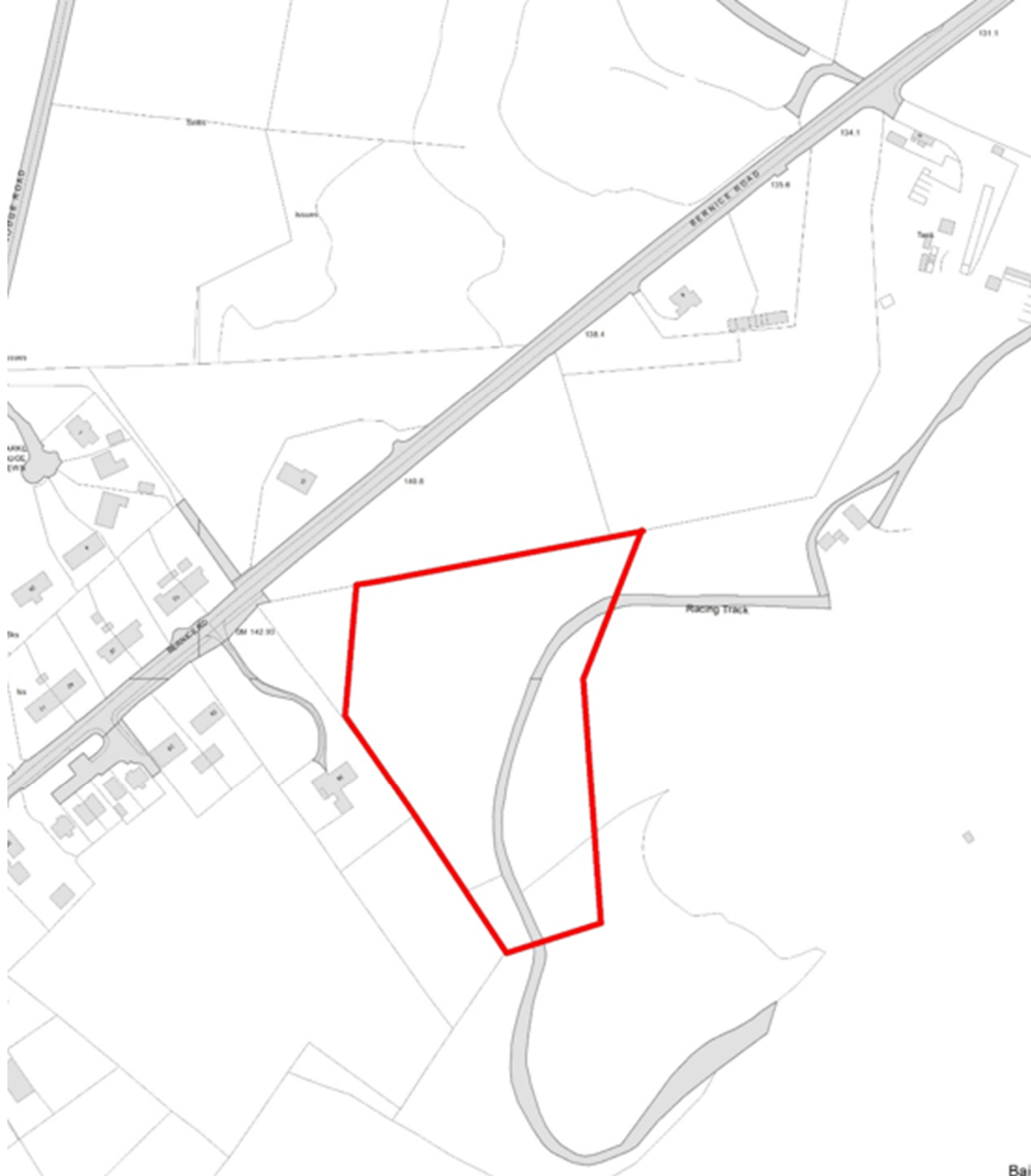
Item 3.1

Planning Application: LA03/2021/0367/F

Proposal: The progression of quarry faces, within the approved planning boundary of the existing quarry site, in a westerly direction

Site Address: Lands at 140 Mallusk Road, Mallusk, Newtownabbey, lands directly east of 24 Bernice Road, Mallusk, Newtownabbey.

Recommendation: Grant Planning Permission











Blue line denotes final extraction face

Drawing

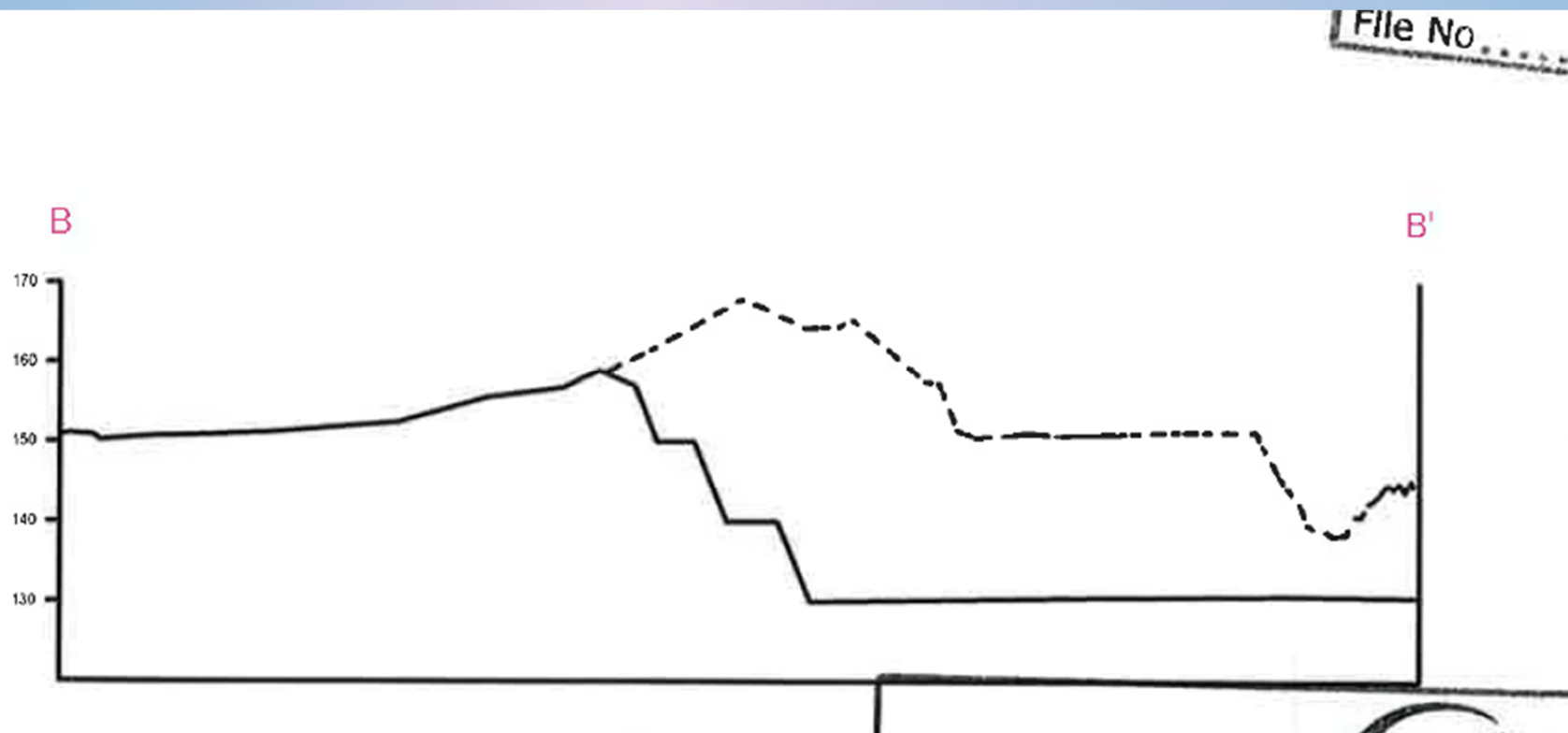
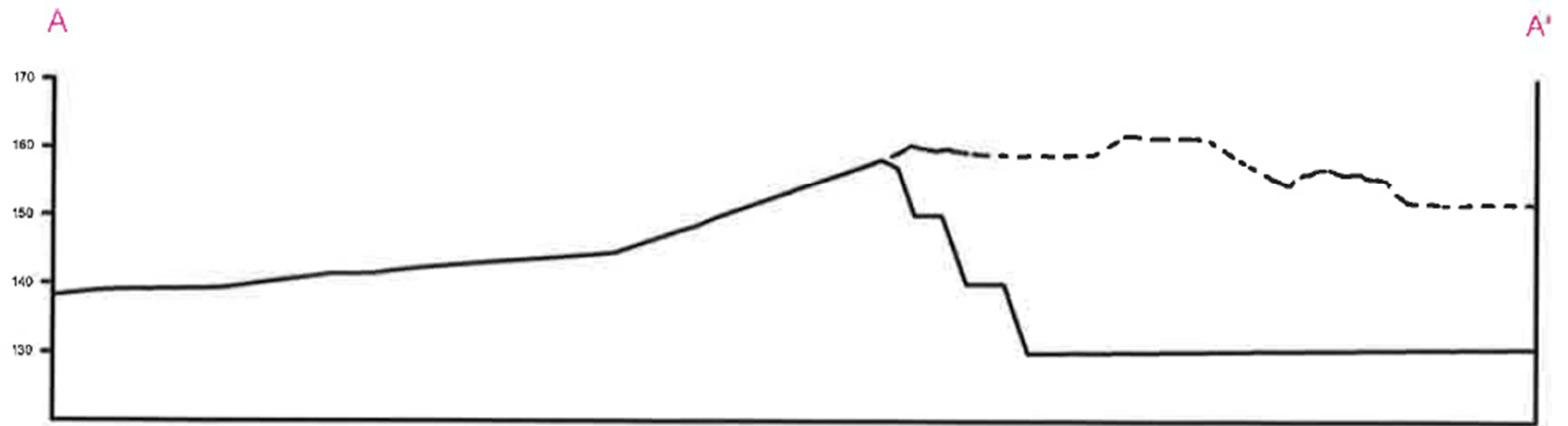


Antrim and
Newtownabbey
BOROUGH COUNCIL

Number...03/1.....



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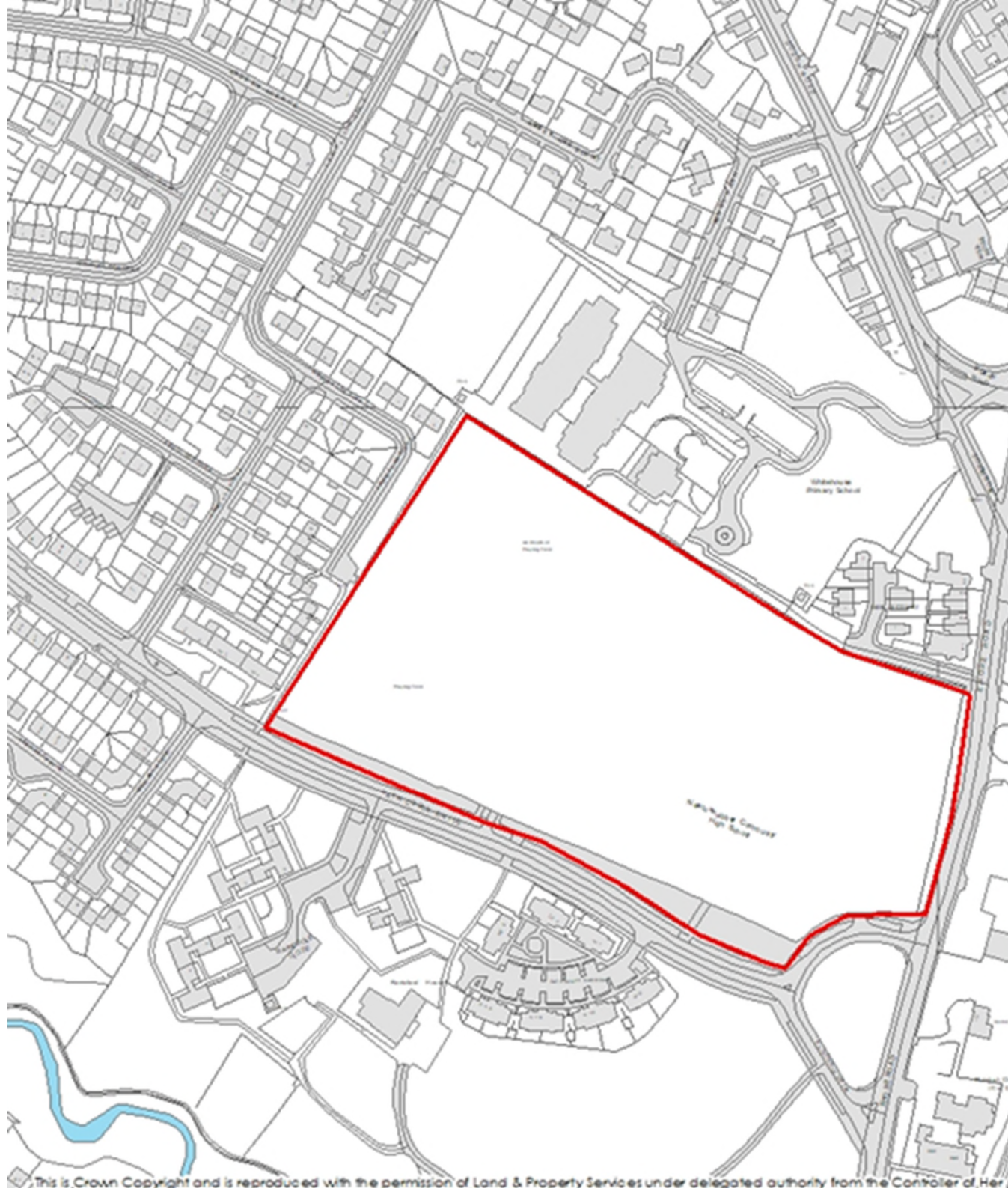
Item 3.2

Planning Application: LA03/2021/0628/F

Proposal: Proposed residential development comprising a mix of 76 no. dwellings and 35no. apartments with public open space, children play park, landscaping, car parking, associated site works and infrastructure and access arrangements from Rathcoole Drive (111 units in total).

Site Address: Former Newtownabbey High School, Rathcoole Drive, Newtownabbey.

Recommendation: Grant Planning Permission







Complex Tree Protection Fencing

PROTECTIVE PROGRAM: WORK PERFORMED MUST BE ACCORDANCE WITH THE APPROVED PLANS AND INSTRUCTIONS FOR THIS DEVELOPMENT.

TREE PROTECTIVE AREA
 THIS PROTECTIVE AREA HAS BEEN ESTABLISHED TO PROTECT THE TREE FROM DAMAGE DURING CONSTRUCTION. ALL OBSTRUCTIONS WITHIN THIS AREA MUST BE REMOVED OR RELOCATED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

Example of Tree Protection Signs



GUIDANCE FOR WORKING WITH ROOT PROTECTION AREAS

These measures are required to ensure the protection of tree root protect areas while allowing access for work.

Root protection areas are established to protect the root system of trees from damage during construction. The root system is the most vulnerable part of the tree and is essential for its survival. Root damage can result in the death of the tree.

Fencing shall be installed to protect the root system. The fence shall be made of 1.5m diameter galvanized steel pipe and 1.5m diameter galvanized steel mesh. The fence shall be installed at least 1.5m from the tree trunk and shall be supported by 1.5m diameter galvanized steel posts.

Excavation shall be limited to the root system. Excavation shall be limited to a maximum depth of 1.5m and shall be limited to the root system. Excavation shall be limited to the root system.

Excavation shall be limited to the root system. Excavation shall be limited to a maximum depth of 1.5m and shall be limited to the root system. Excavation shall be limited to the root system.

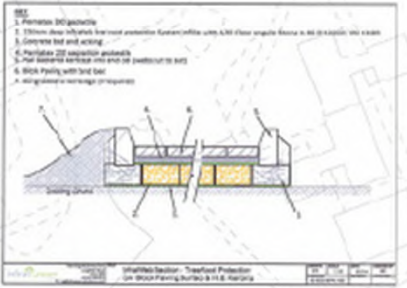
Excavation shall be limited to the root system. Excavation shall be limited to a maximum depth of 1.5m and shall be limited to the root system. Excavation shall be limited to the root system.

New ground level not increasing within 50% of existing ground level. Excavation shall be limited to the root system.



Adjacent to existing site (EPA zone requires a program and Abatement Order Treatment to be implemented for the site). The site is under the supervision of the Department of Environmental Protection.

Example of 'no-dig' three-dimensional cellular confinement system (cellweb) for construction of hard surfaces within Root Protection Areas.



Cellweb shall be installed over the root system and shall be supported by the concrete bed and setting. The cellweb shall be filled with a concrete or aggregate material.

New tree protection system shall be installed over the root system and shall be supported by the concrete bed and setting. The new tree protection system shall be filled with a concrete or aggregate material.

Formwork shall be installed over the root system and shall be supported by the concrete bed and setting. The formwork shall be filled with a concrete or aggregate material.

NOTE:
Existing trees shown individually only.
Please refer to tree survey.



STREETSCAPE 1 - RATHCOOLE DRIVE

NOTE:
Existing trees shown individually only.
Please refer to tree survey.



STREETSCAPE 1 - RATHCOOLE DRIVE (cont.)

NOTE:
Existing trees shown individually only.
Please refer to tree survey.



STREETSCAPE 2

NOTE:
Existing trees shown individually only.
Please refer to tree survey.



STREETSCAPE 3 - ARDLEA CRESCENT

RPP ARCHITECTS



RPP ARCHITECTS



Ariel CGI



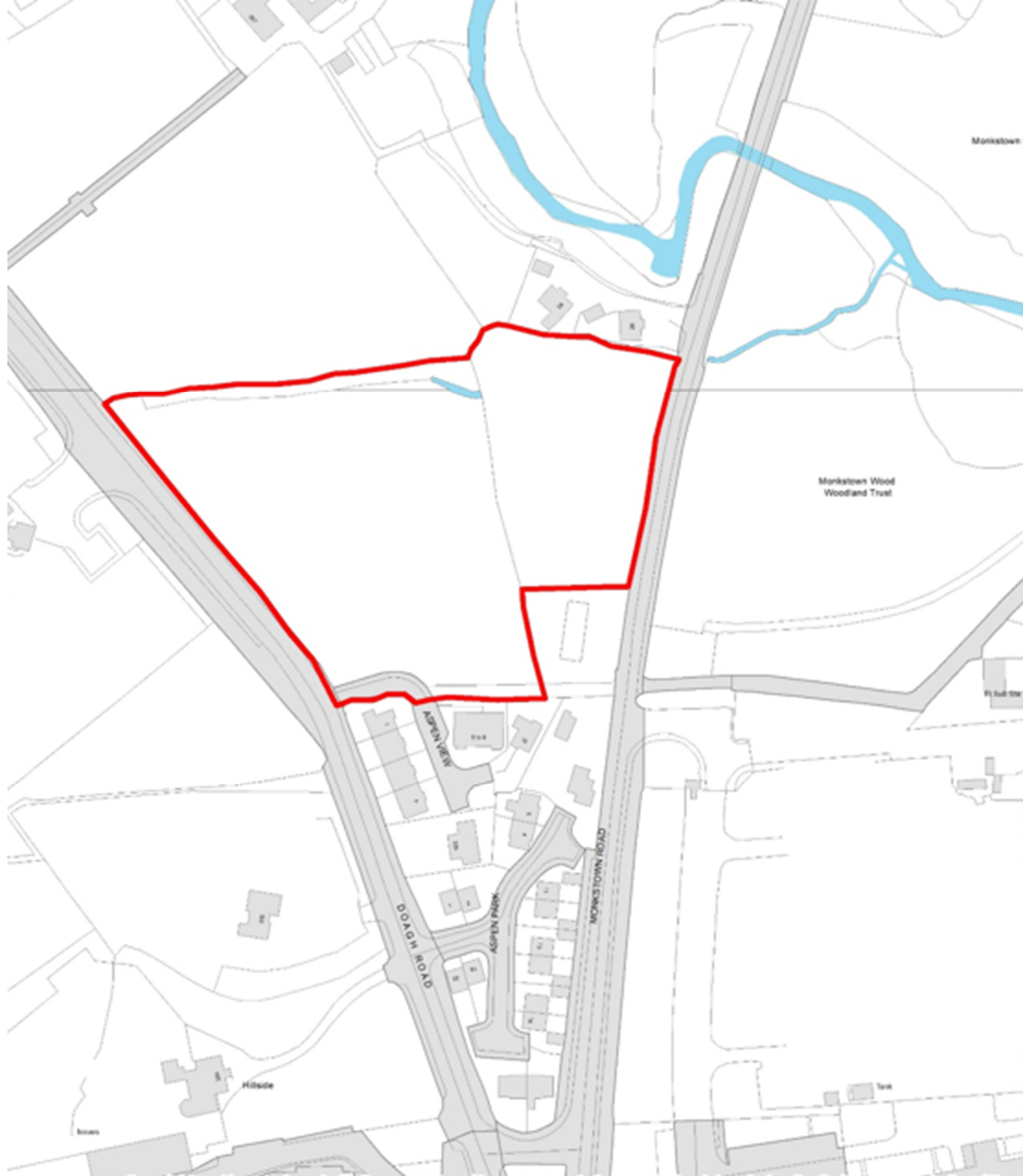
Item 3.3

Planning Application: LA03/2020/0843/F

Proposal: Proposed social housing development comprising 37no units (14no semi-detached, 11no townhouses, 3no detached wheelchair accessible bungalows, 1no detached and 8no apartments), associated open space, landscaping, access from Doagh Road including reconfigured access to Aspen View, public footpath to Monkstown Road, car parking, foul pumping station and all ancillary site works

Site Address: Lands 30 metres north of No. 1, No. 5 - 8 and No. 10 Aspen View, Doagh Road, and 20 metres southwest of No. 26 and No. 28 Monkstown Road, Newtownabbey

Recommendation: Grant Planning Permission



EXISTING TREES ALONG NORTHERN BOUNDARY TO BE RETAINED CHESTNUT PILE FENCE TO BE ERECTED PRIOR TO CONSTRUCTION WORK COMMENCING TO PROTECT NATURAL HABITAT
 PROPOSED 1.8M HIGH ACOUSTIC TRESE FENCE VERTICAL PANELS TO BE SHIPPED LAPPED TO ACOUSTIC ENGINEERS SPECIFICATIONS
 PROPOSED 1.8M BRICK WALLS AS PER ACOUSTIC ENGINEERS SPECIFICATIONS AND ARCHITECTS WALL DETAILS
 PROVIDE CLOTHES DRYING TO EACH INDIVIDUAL DWELLING AS SHOWN ON PLAN

TEMPORARY CHESTNUT PILE FENCE TO BE ERECTED AROUND EXISTING TREES TO BE RETAINED THROUGHOUT CONSTRUCTION

50.9

PROPOSED 2.1M BRICK WALL AS PER ACOUSTIC ENGINEERS SPECIFICATIONS AND ARCHITECTS WALL DETAILS

PROPOSED 1.8M BRICK WALL AS PER ACOUSTIC ENGINEERS SPECIFICATIONS AND ARCHITECTS WALL DETAILS

PROPOSED 2.1M HIGH VERTICAL PANELS TO ACOUSTIC ENGINEERS
 FOLL PUMPING STATION REFER TO ENGINEERS

RETAIN EXISTING SOUL AUGMENT AS REQUIRED

Mank Wo

PROPOSED BOUNDARY HEDGE ALONG EA AND SOUTHERN BOUNDARY AS PER HEDGE SPECIFICATIONS

TREES ALONG SOUTHERN BOUNDARY OF ADJACENT LAND TO BE RETAINED

EXISTING BOUNDARY HEDGE ALONG REA 5,8 & 10 TO BE RETAINED ALL EXISTING TO BE RETAINED AND PROTECTED DURING CONSTRUCTION ERECTION OF CHESTNUT FENCE SHOULD BE IN PLACE WHERE REQUIRED



Front Elevation



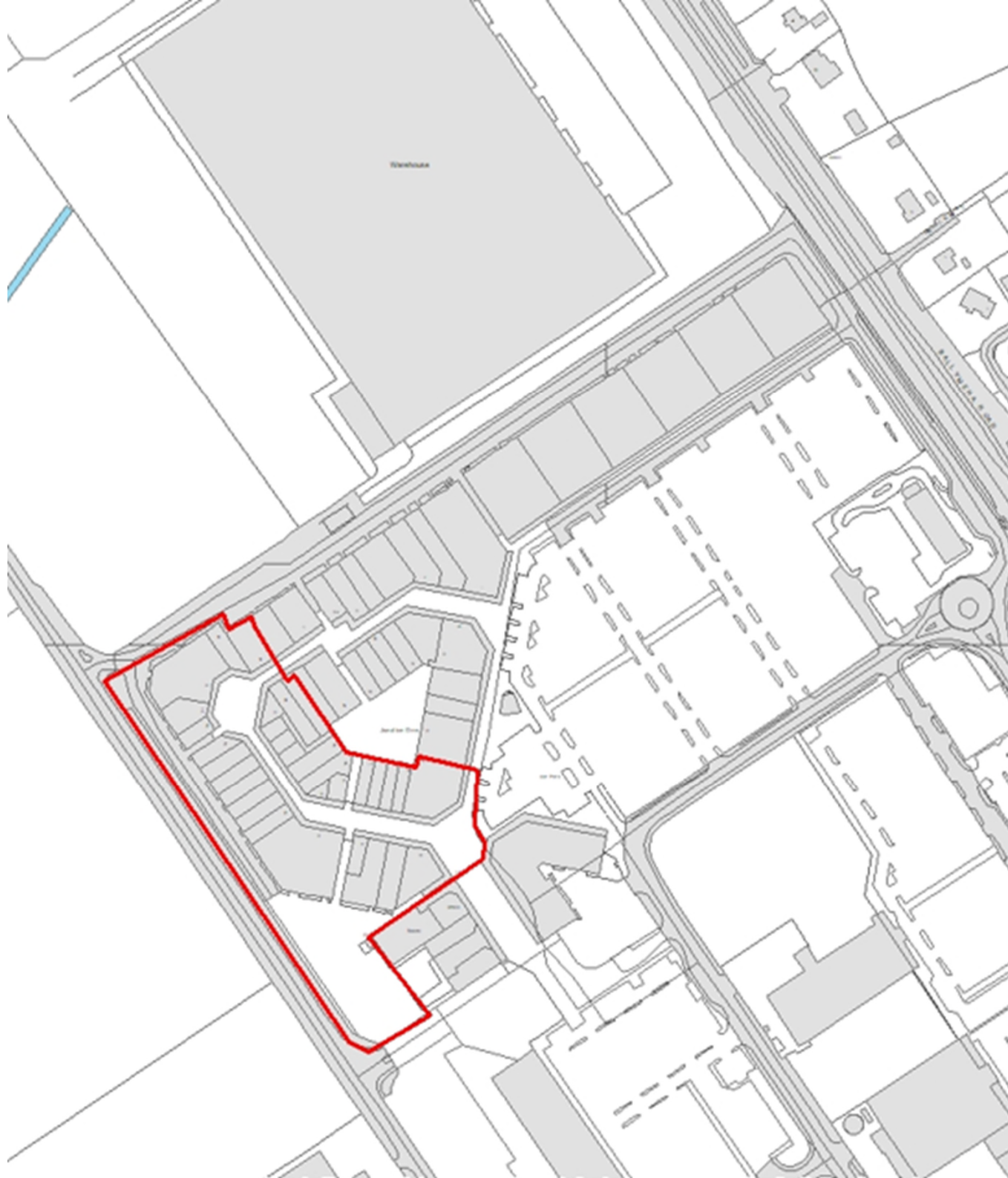
Item 3.4

Planning Application: LA03/2021/1110/F

Proposal: Proposed alterations to Factory Outlet Centre to accommodate new Dobbies Garden Centre

Site Address: Units 9 to 41, The Junction Retail and Leisure Park, 111 Ballymena Road, Antrim

Recommendation: Grant Planning Permission



Existing Floor Plans

Contractor to ensure all dimensions are checked on site prior to works commencing, discrepancies to be notified to Gray Design Ltd.
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Planning Section
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 18 NOV 2021

JAGS / 2021 / 1110

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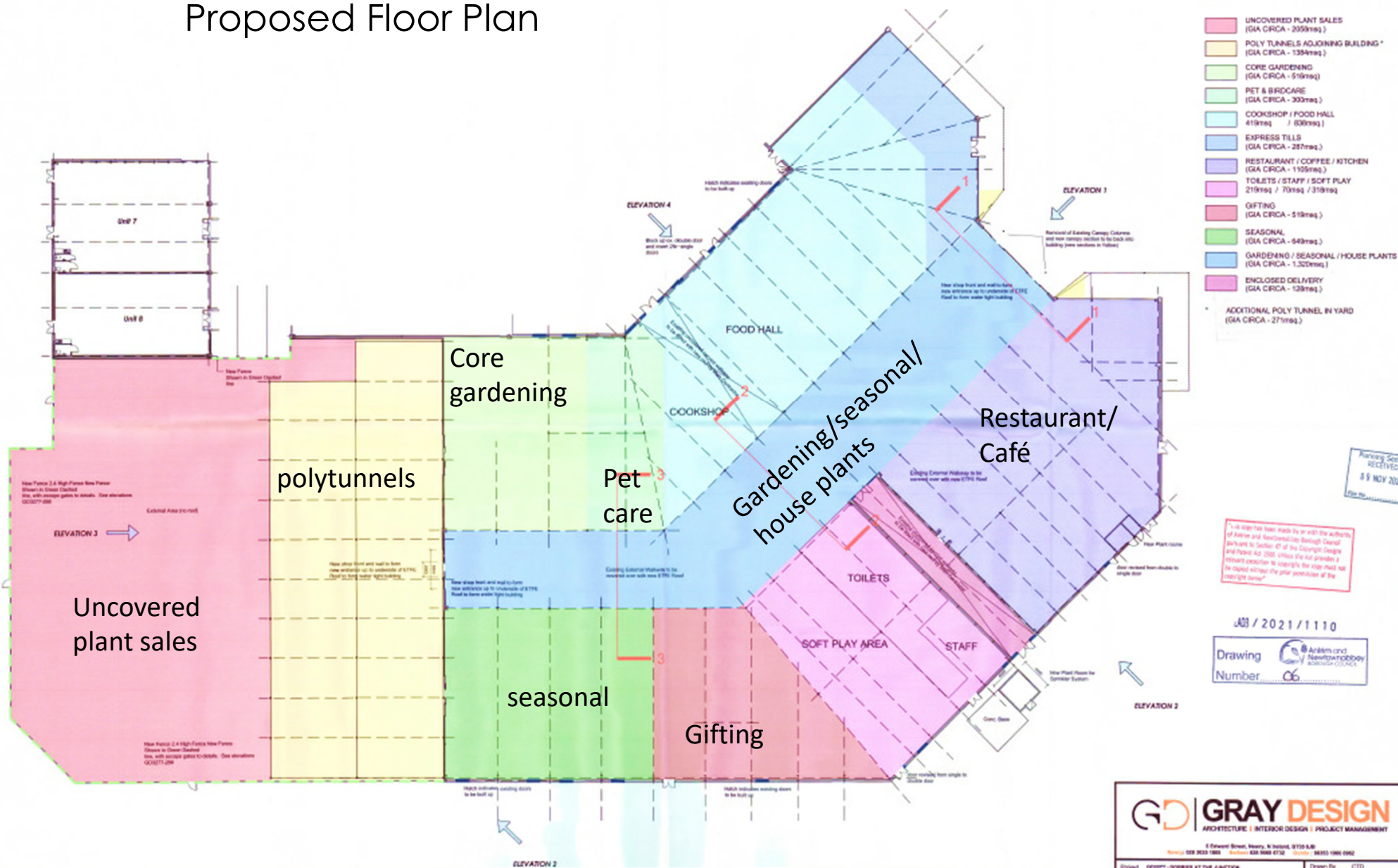
Drawing Number
 Antrim and Newtownabbey Borough Council
 03

GD GRAY DESIGN
 ARCHITECTURE | INTERIOR DESIGN | PROJECT MANAGEMENT

8 Edward Street, Bally, N. Ireland, BT36 6UB
 Phone: 028 2023 1883 Fax: 028 2023 6712 E-mail: info@graydesign.co.uk

Project: SEBZTY - COBBLES AT THE JUNCTION	Drawn By: CTD
Drawing: EXISTING FLOOR PLAN	Check By: CTD
Project No:	Date: 14/09/2021
Drawing No:	Scale: 1:250
Revision:	Sheet Size: A1

Proposed Floor Plan



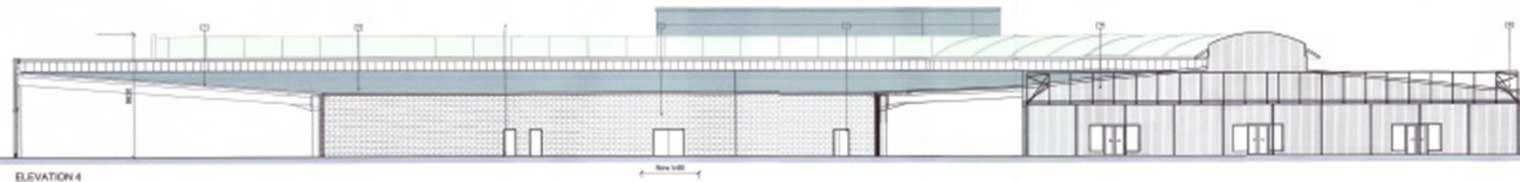
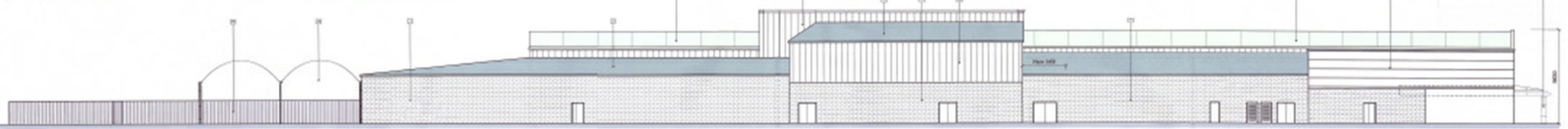
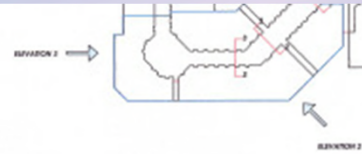
Planning Section received
 05 NOV 2021

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JAB / 2021 / 1110
 Drawing Number C6
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GD | GRAY DESIGN
 ARCHITECTURE | INTERIOR DESIGN | PROJECT MANAGEMENT
 8 Edward Street, Henry, W. Ireland, BT15 6AB
 Phone: 028 2633 1888 Fax: 028 2633 4732 Email: info@graydesign.ie
 Project: G0007-00088 at the Junction Drawn by: CTD

Proposed Elevations



Finishes Schedule (Existing & Proposed)

1. Red / Brown Facing Blockwork
2. Grey Steel Fire Escape Doors
3. Silver Micro Rib Horizontal Cladding
4. Smooth Painted Render
5. Gunmetal Grey Shop Fronts
6. Light Grey canopies
7. Roof Parapet
8. Mono pitch Kingspan KS1000 RW Roof Light Grey
9. Kingspan KS1000 RW Goosewing Grey Vertical Cladding
10. Horizontal Timber Cladding
11. Gunmetal Grey Curtain Wall Glazing
12. ETFE Roof
13. New Cable to be finished with vertical timber cladding
14. Gunmetal Grey Shop Fronts
15. Polytunnel

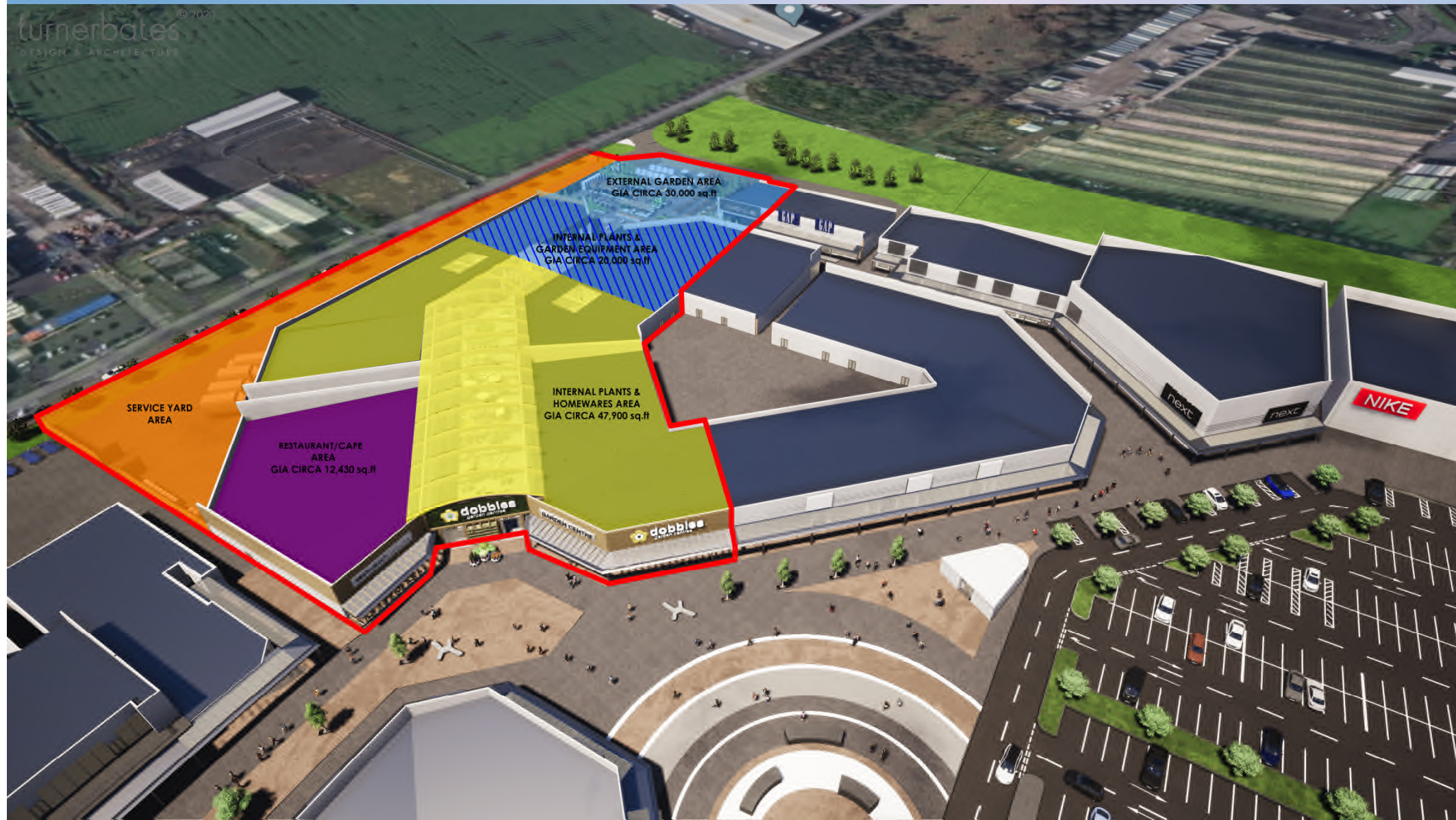
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AD03 / 2021 / 1110

Drawing
Number

Concept Ariel CGI



Internal CGI



External Entrance CGI



Item 3.5

Planning Application: LA03/2020/0385/O

Proposal: Tourist Accommodation

Site Address: 40m West of 3b Lisglass Road Ballyclare
BT39 9NH

Recommendation: Refuse Outline Planning
Permission





d a Tint

Belfast Rd

A8

Lisglass Rd

Lisglass Rd

Lisglass Rd

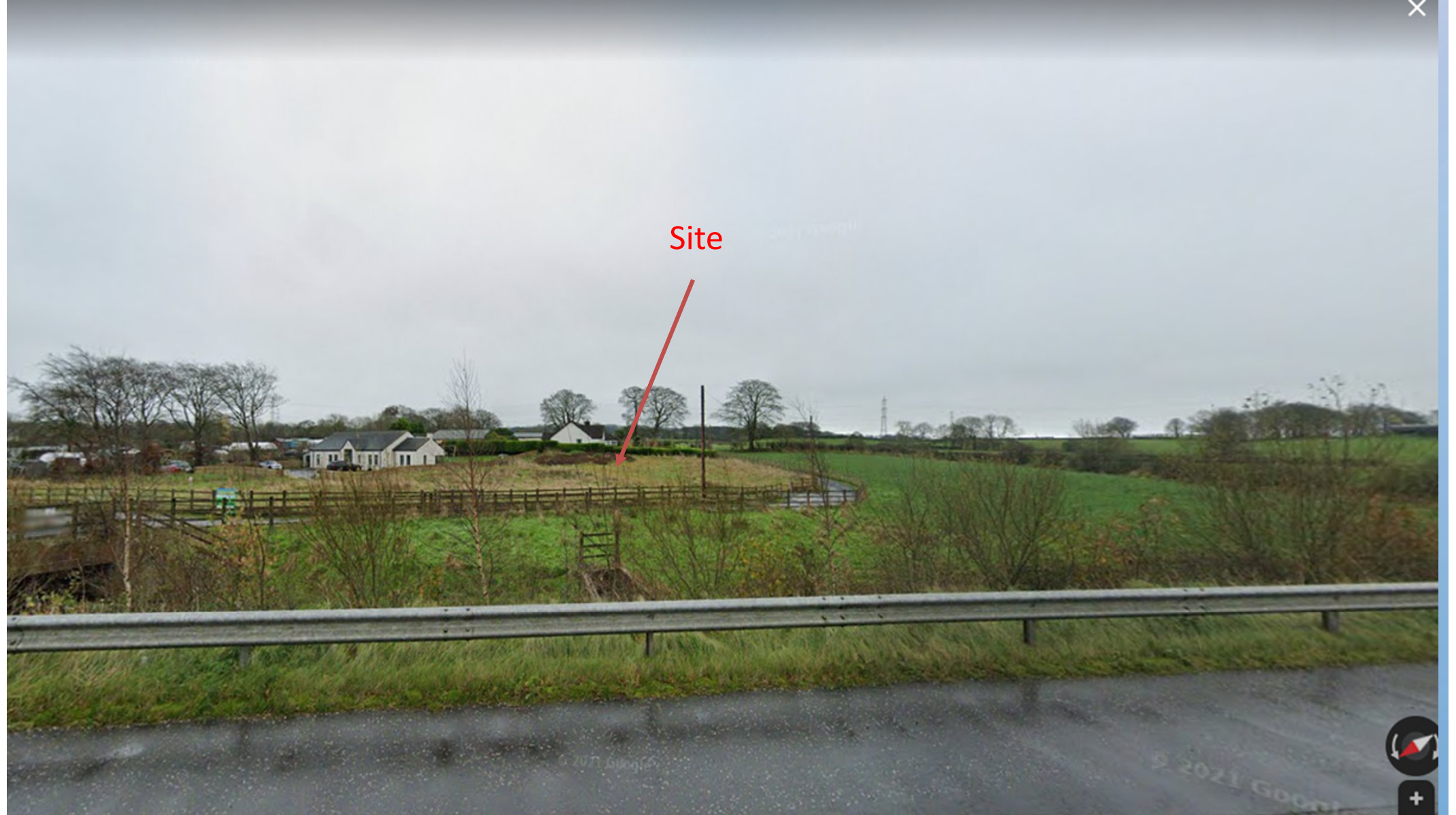
3b Lisglass Rd,
Ballyclare BT39 9NP

Primrose Hill
Day Nursery

A8



Site



Site



Item 3.6

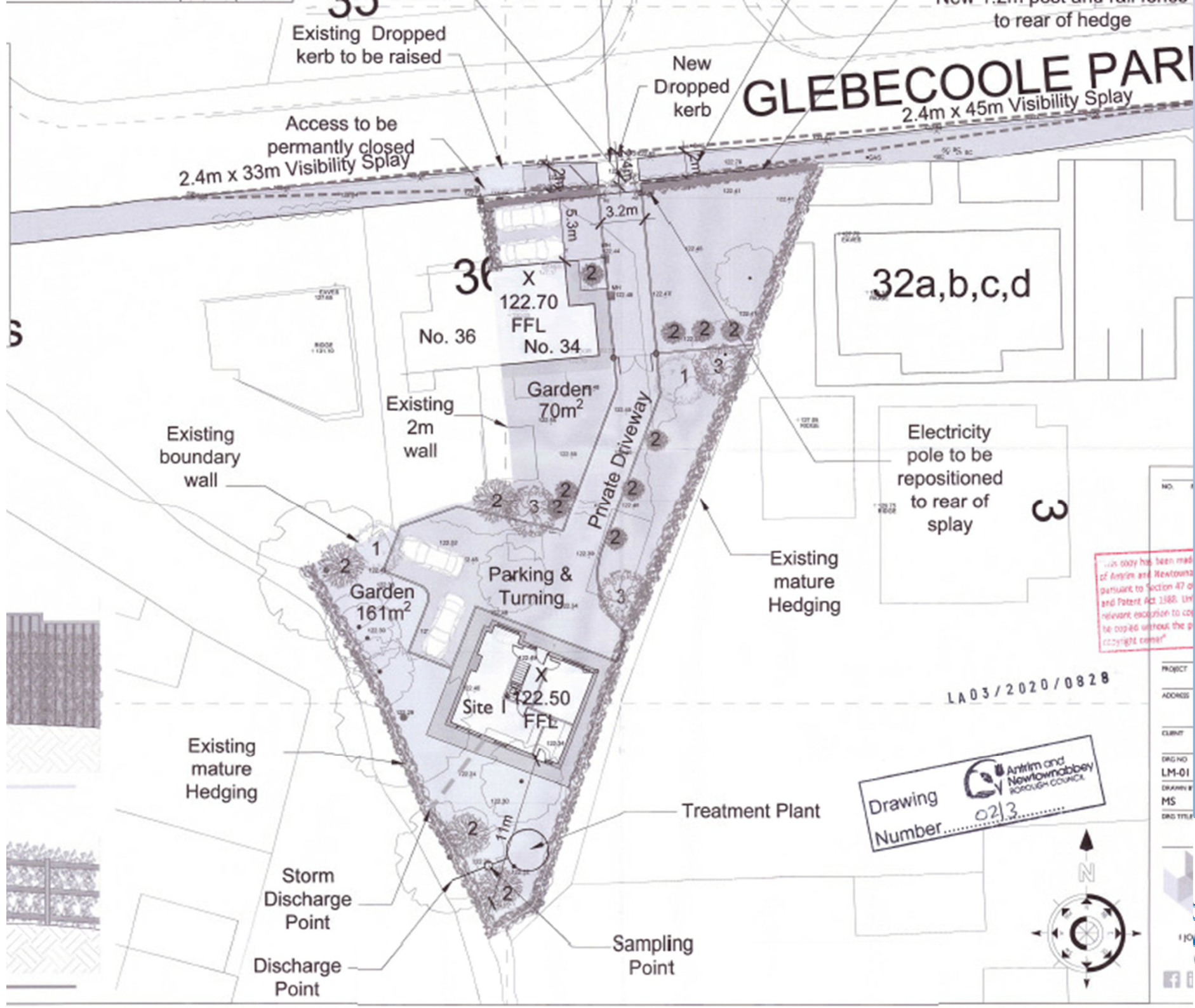
Planning Application: LA03/2020/0828/F

Proposal: Erection of 1 no detached dwelling (& retention of existing dwelling)

Site Address: 34 Glebecoole Park, Newtownabbey,
BT36 6HX

Recommendation: Grant Planning Permission





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LA03/2020/0828

Drawing Number **0213**
 Antrim and Newtownabbey COUNCIL



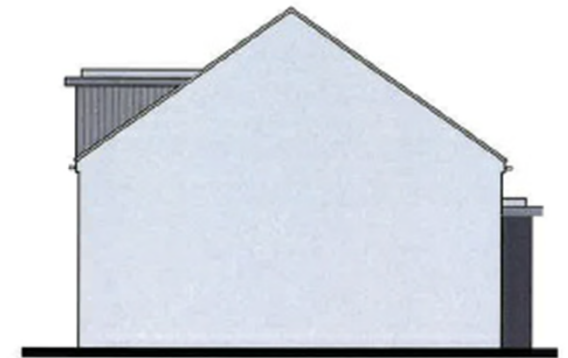
PROJECT
 ADDRESS
 CLIENT
 DRG NO
 LM-01
 DRAWN BY
 MS
 DRG TITLE



Proposed Rear Elevation



Proposed Front Elevation

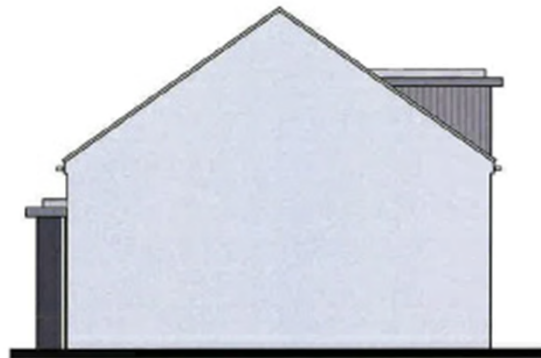


Proposed Side Elevation

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SCHEDULE OF FINISHES

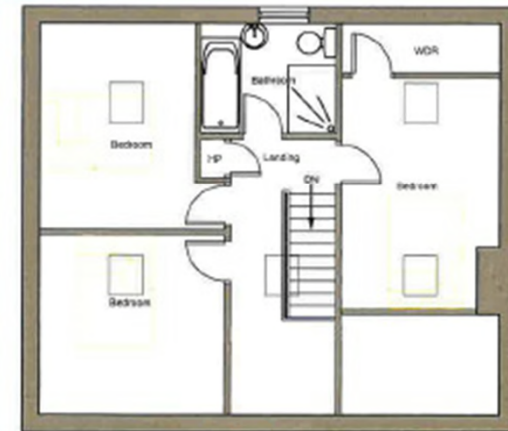
- Walls - Light brick & Grey Painted Render
- Roof - Grey/black tiles
- Windows - Black Upvc
- Cladding - Black Upvc



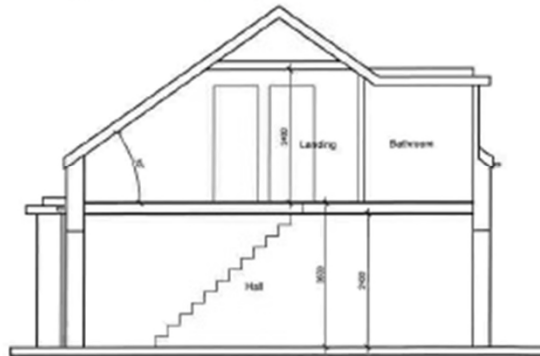
Proposed Side Elevation



Proposed Ground Floor Plan



Proposed First Floor Plan



Proposed Section

APR 22/2022/16

Planning Section
 RECEIVED
 20 SEP 2021
 File No.

Drawing
 Number... 052



PROJECT: 1 No. New Dwelling
 ADDRESS: 34 Glebevale Park
 CLIENT: Stephen Heatley
 DRAWN BY: SK-82
 CHECKED BY: E
 DATE: 1.10.2020
 SCALE: 1:100
 SHEET: 1/1
 TITLE: Proposed Plans and B...

HR
 ARCHITECTURAL
 1 JOYNTOWN ROAD, BARRISVILLE, ANTRIM, CO. ANTRIM, BT37 4YU
 0905 320000
 www.hrarchitects.com

Item 3.7

Planning Application: LA03/2021/0662/F

Proposal: Installation of a static concrete mixer and an additional cement silo in existing builders merchant yard

Site Address: Rear of 397 Antrim Road, Glengormley, Newtownabbey

Recommendation: Refuse Planning Permission





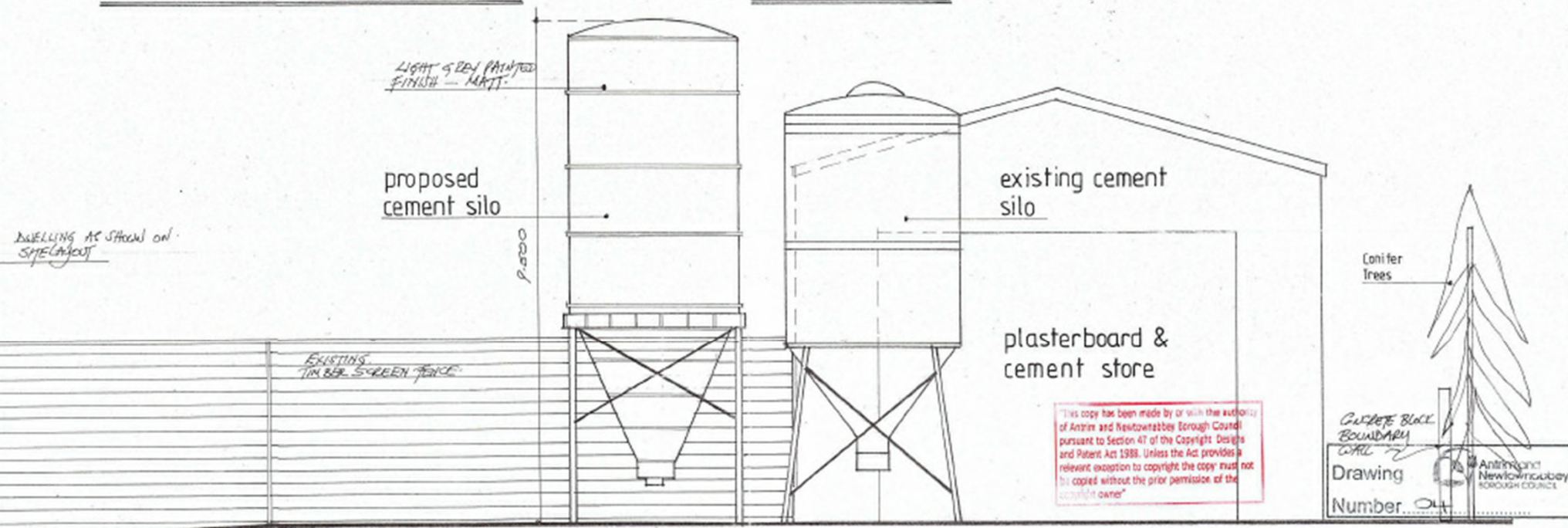
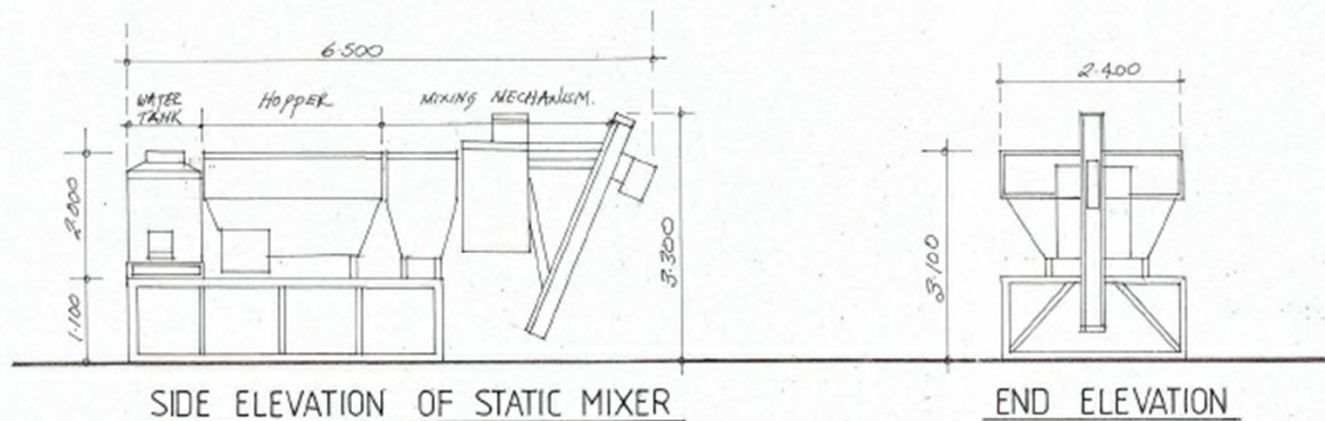
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Planning Section RECEIVED
 01 DEC 2021

Concrete
 Silo in the rear
 ngormley for
) Ltd.
 1:500 Date: Jan. 21
 78

----- B
 property ow
 Samuel Kir
 Merchant) l



PROPOSED ELEVATION 403 / 2021 / 0662

Planning Section
RECEIVED
30 JUN 2021
File No.

Proposed Installation of a Static Concrete Mixer and an additional Cement Silo in the rear yard of 397 Antrim Road Glengormley for Samuel Kirk (Builders Merchant) Limited.

PROPOSED ELEVATIONS OF SILO & MIXER
 scale: 1:50 revisions: _____
 date: Jan. 21 Drg.No. 4

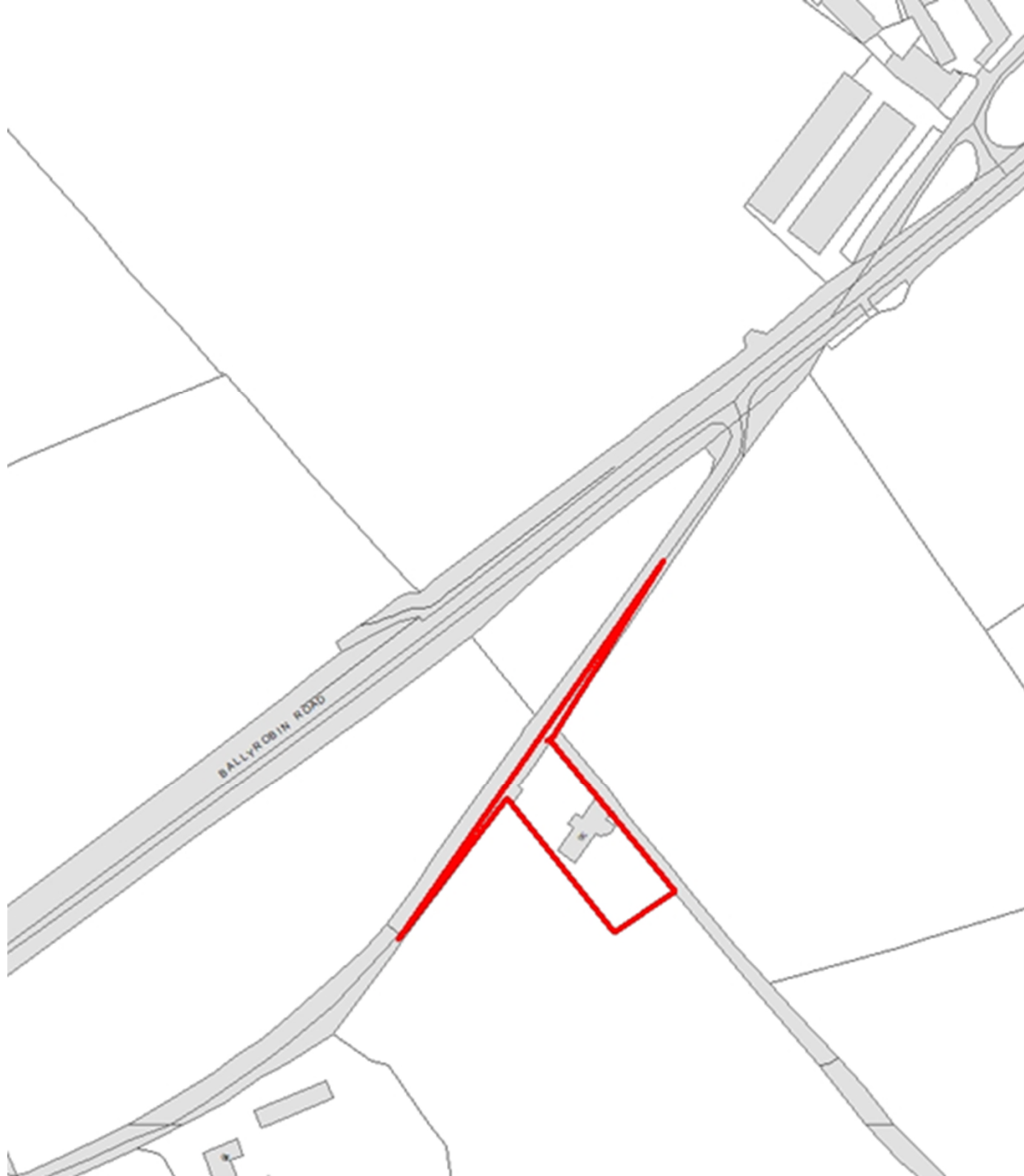
Item 3.8

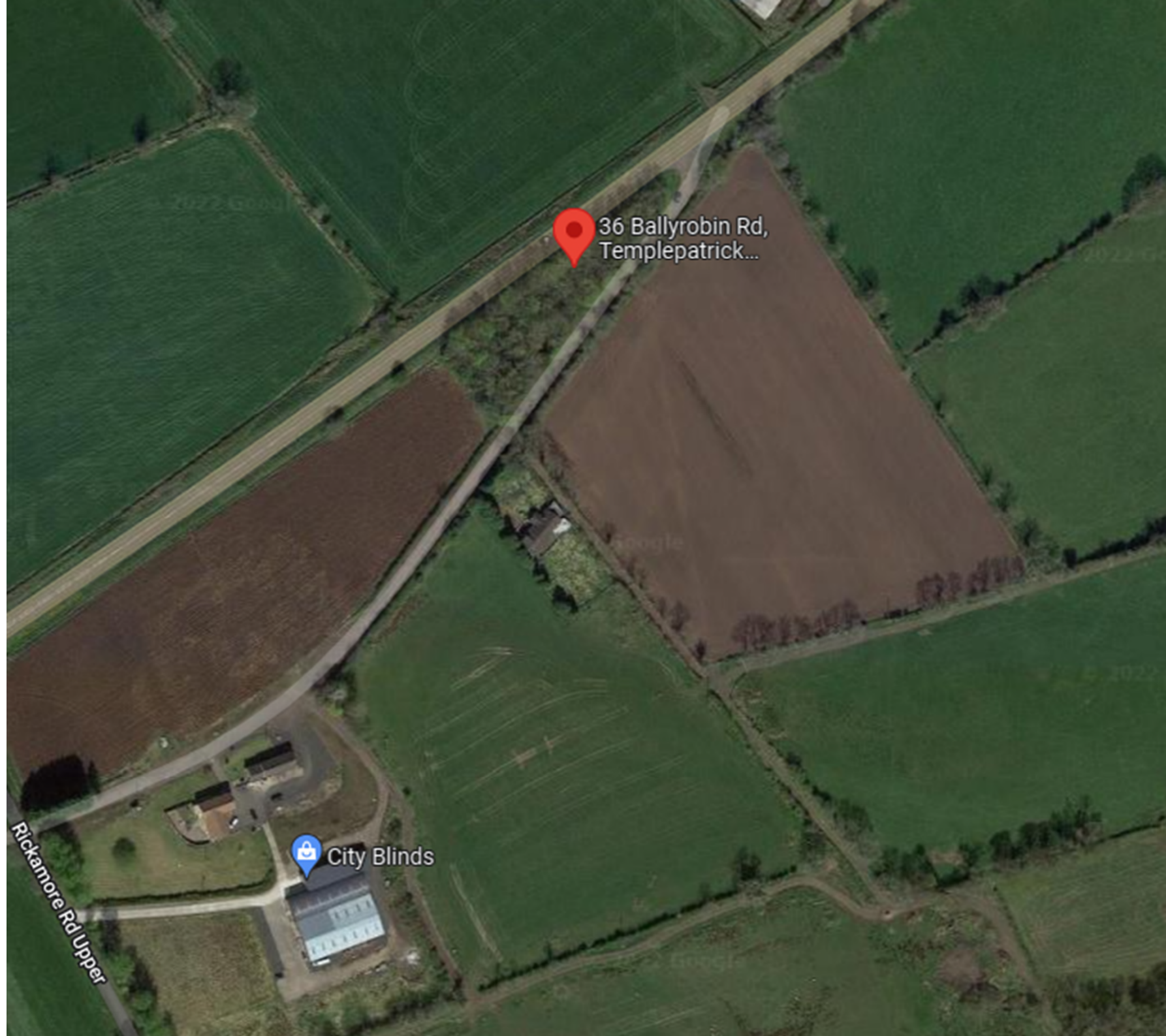
Planning Application: LA03/2021/0972/F

Proposal: Change of use of dwelling to religious meeting room with associated parking

Site Address: 36 Ballyrobin Road, Templepatrick, BT39 0JH

Recommendation: Refuse Planning Permission

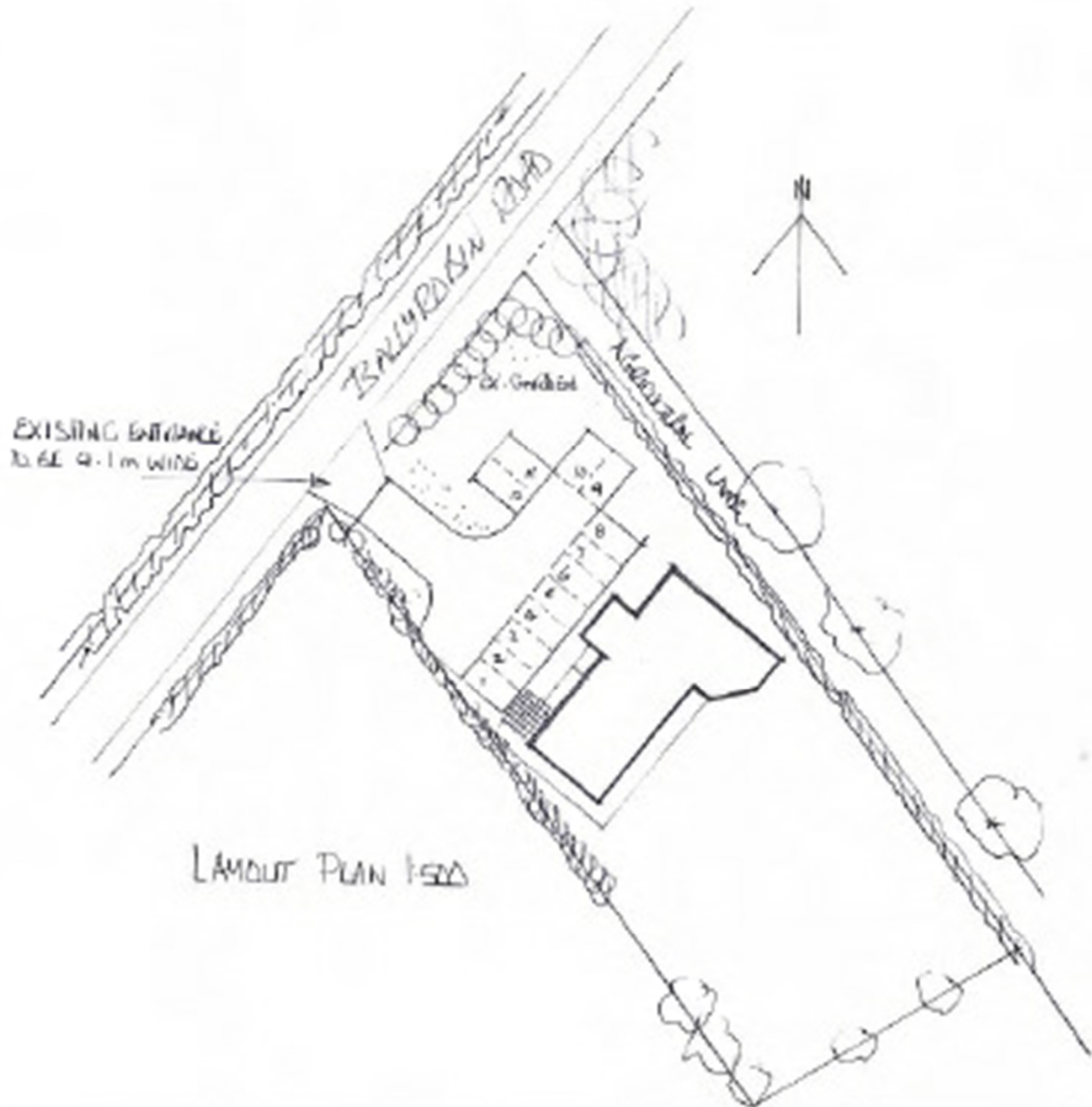




36 Ballyrobin Rd,
Templepatrick...

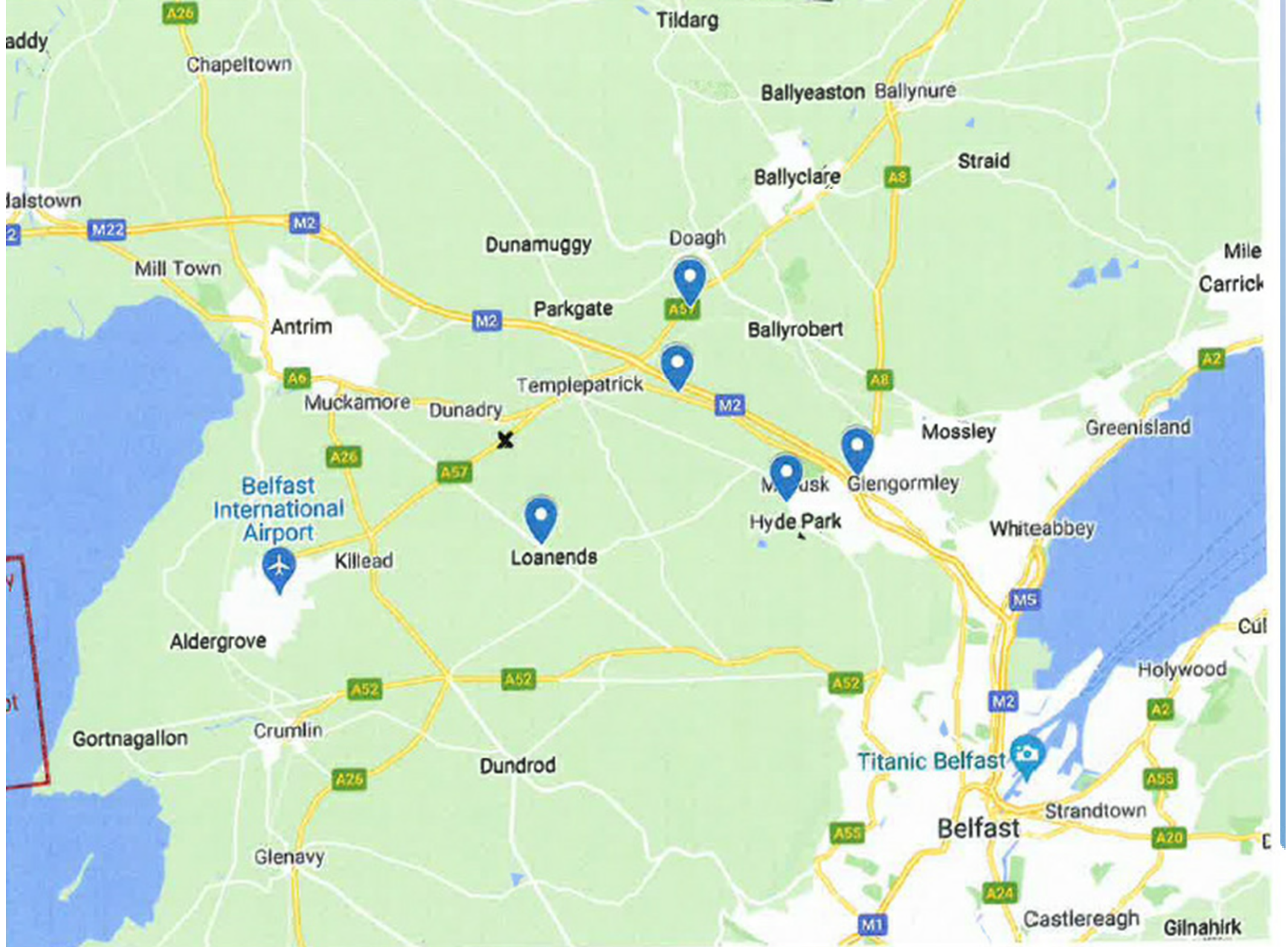
City Blinds

Rickamore Rd Upper





FRONT ELEVATION (UNCHANGED) 5/20



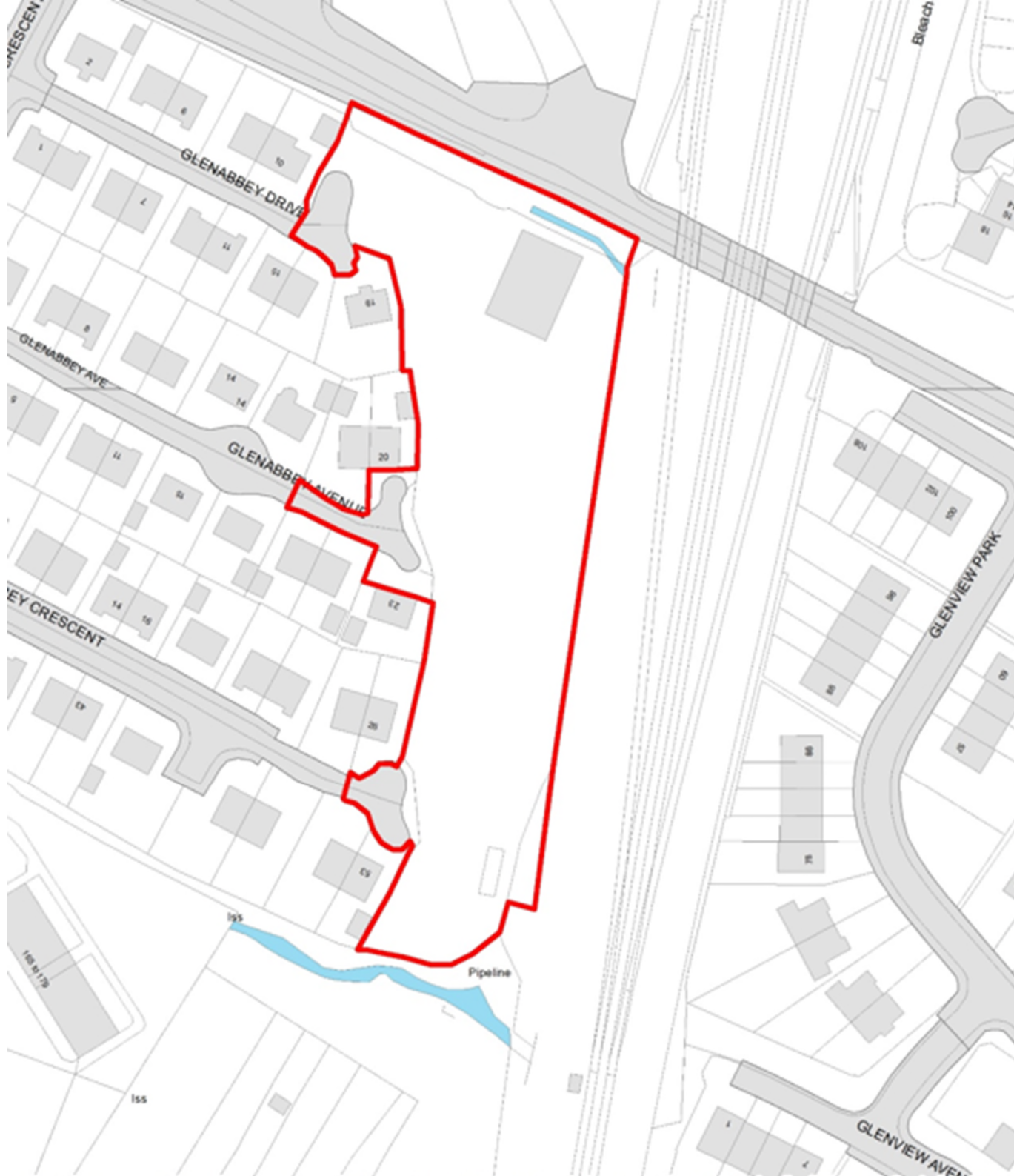
Item 3.9

Planning Application: LA03/2021/0739/F

Proposal: Demolition of existing shed on the site. Proposed residential development comprising of 10 x 2 storey semi-detached dwellings and 2 x 2 storey town houses, associated infrastructure, carparking and landscaping.

Site Address: Site 10m East of 10 and 19 Glenabbey Drive 10m East of 20 and 23 Glenabbey Avenue 10m East of 26 and 53 Glenabbey Crescent Newtownabbey BT37 0YT

Recommendation: Refuse Planning Permission





mes Primary School

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Proposed Front Elevation



Proposed Rear Elevation



Proposed Side Elevation

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Drawing Number **05**
Antrim and Newtownabbey BOROUGH COUNCIL

- Schedule of Finishes**
- Red brick cladding
 - Anthracite Gray PVC window and door
 - Anthracite Gray PVC gutters and down
 - Blue/Gray slate/tiles
 - Smooth Rendered surround bay window

PROJECT NO: M-1635 DRAWING NO: PL-05
 PROJECT TITLE: Proposed Residential Development for T A Downey Limited at East of Glenabbey Drive Newtownabbey
 DRAWING TITLE: House Type B Proposed Elevations

Downey
CIL

Item 3.10

Planning Application: LA03/2022/0034/O

Proposal: Site for 1 no detached dwelling

Site Address: 70m East of 49 Ballycraigy Road,
Newtownabbey

Recommendation: Withdrawn by Officers

Item 3.11

Planning Application: LA03/2021/0435/F

Proposal: Below ground agricultural effluent storage tank

Site Address: 130m North West of 8 Ballydonnelly Road, Toomebridge, Antrim

Recommendation: Withdrawn by Officers

Item 3.12

Planning Application: LA03/2021/0743/F

Proposal: Retrospective application for raised single storey sunroom extension to rear of existing dwelling.

Site Address: 21 Shore Road, Greenisland,
Carrickfergus, BT38 8UA

Recommendation: Withdrawn by Officers

Item 3.13

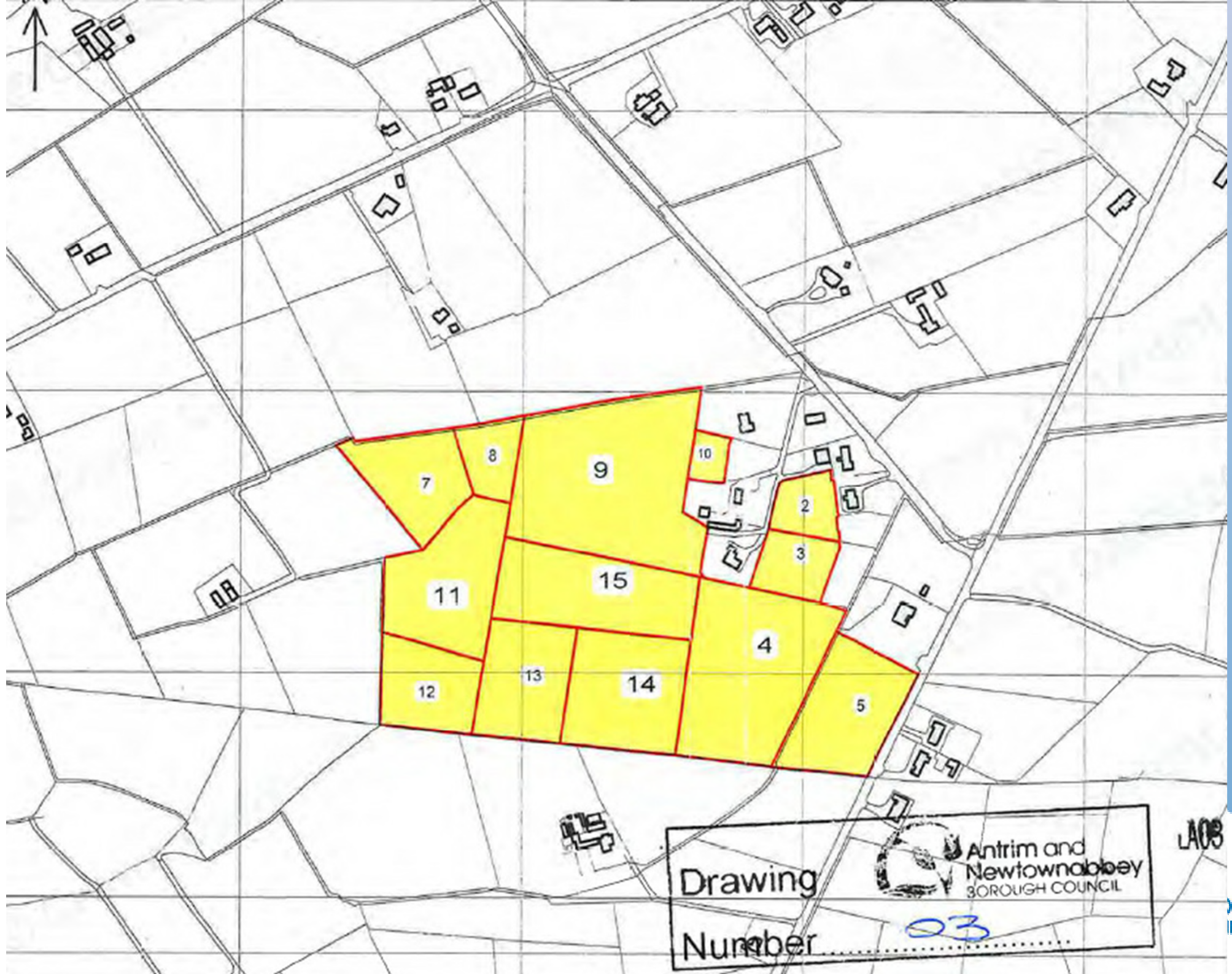
Planning Application: LA03/2021/1141/O

Proposal: Site for dwelling and garage on a farm

Site Address: 60m South West of 77 Irish Hill Road,
Ballyclare

Recommendation: Refuse Outline Planning
Permission





Drawing

Number



Antrim and
Newtownabbey
BOROUGH COUNCIL

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Item 3.14

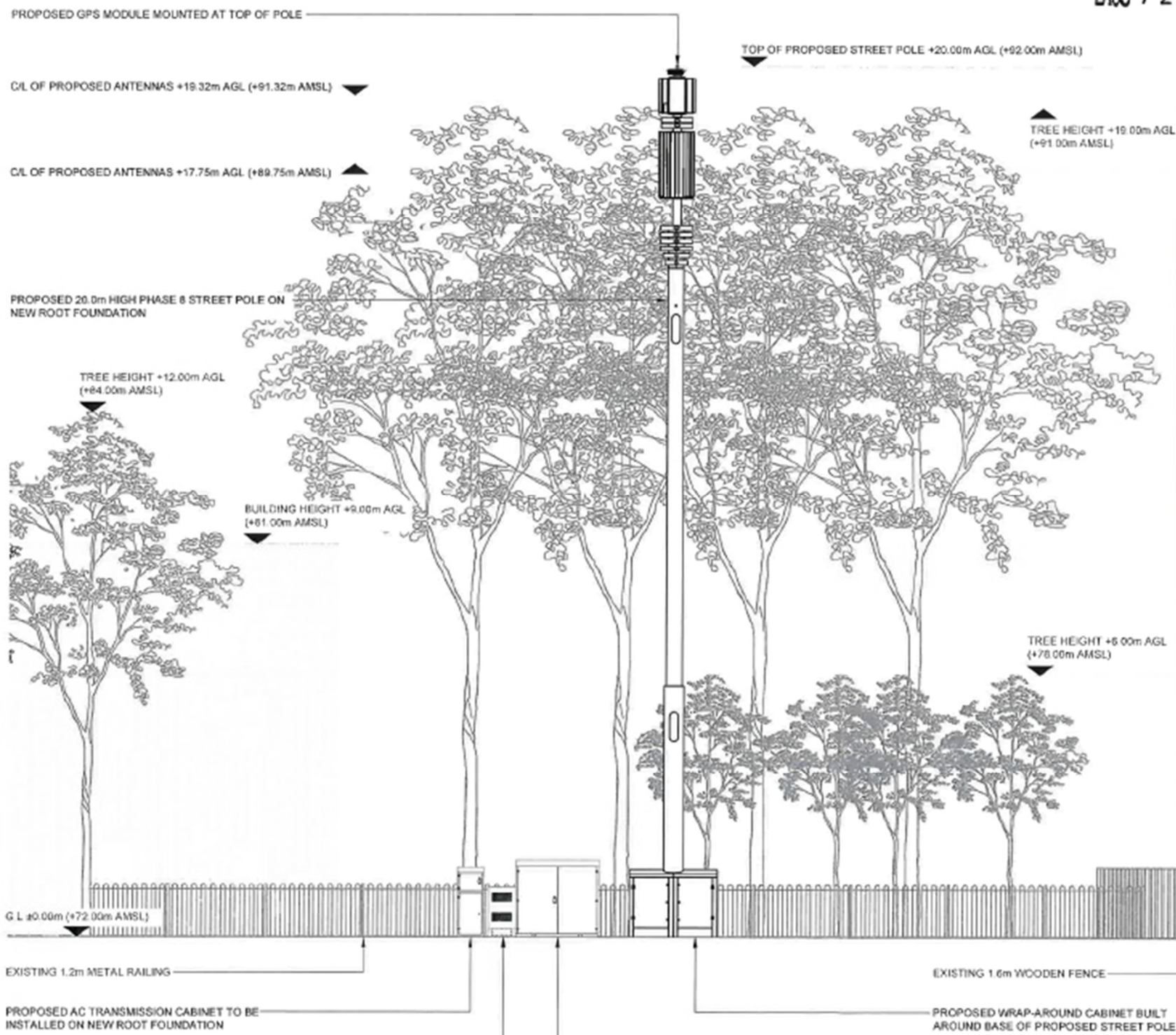
Planning Application: LA03/2021/0885/F

Proposal: Proposed Installation of a 20m High Telecoms street pole c/w wraparound cabinet, with Integrated Antenna, and 3 no. additional equipment cabinets and ancillary equipment.

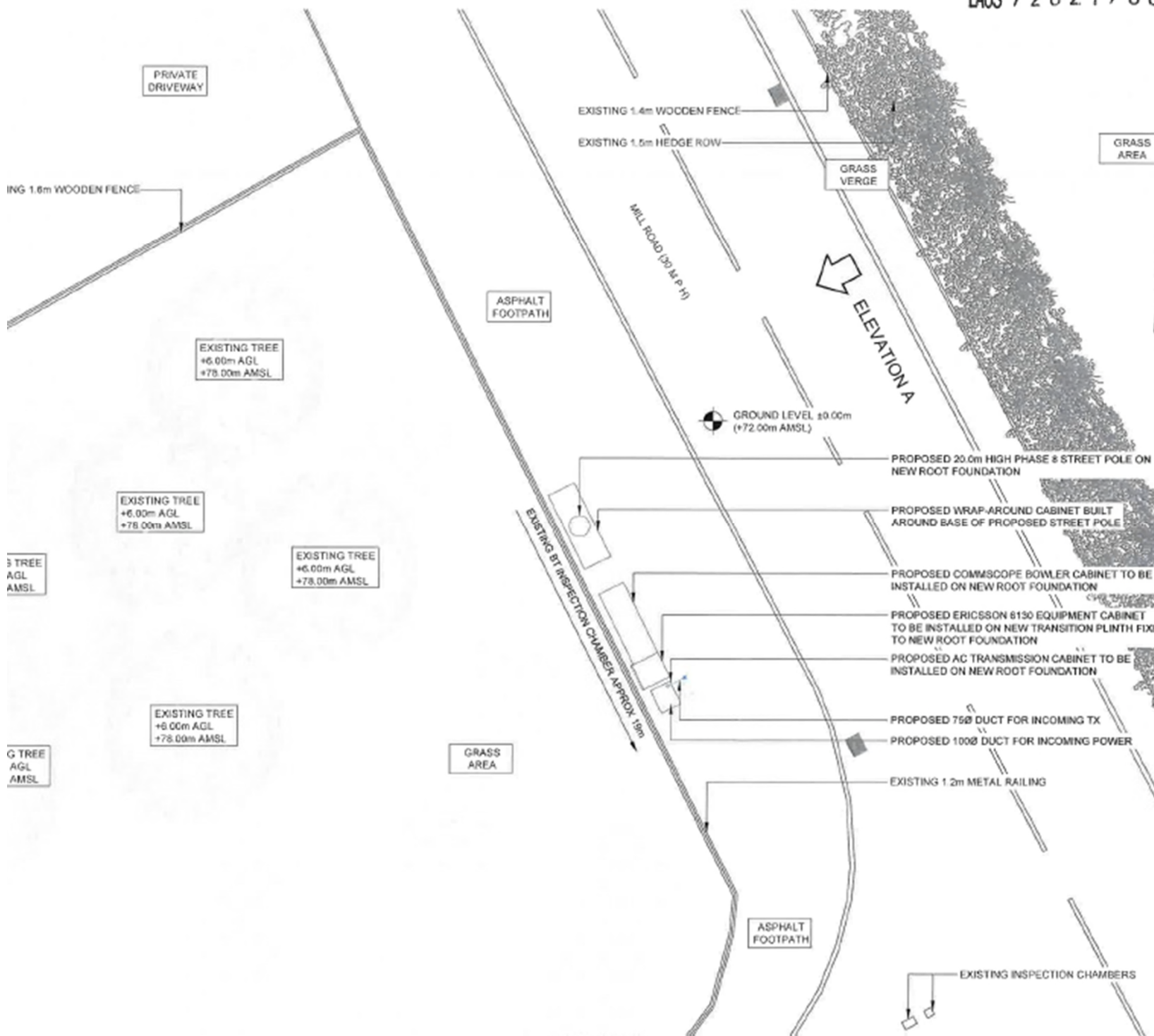
Site Address: Close to 16 Mill Road, on a section of footpath approximately 10m north of the entrance to Jubilee Hall, Doagh

Recommendation: Refuse Planning Permission









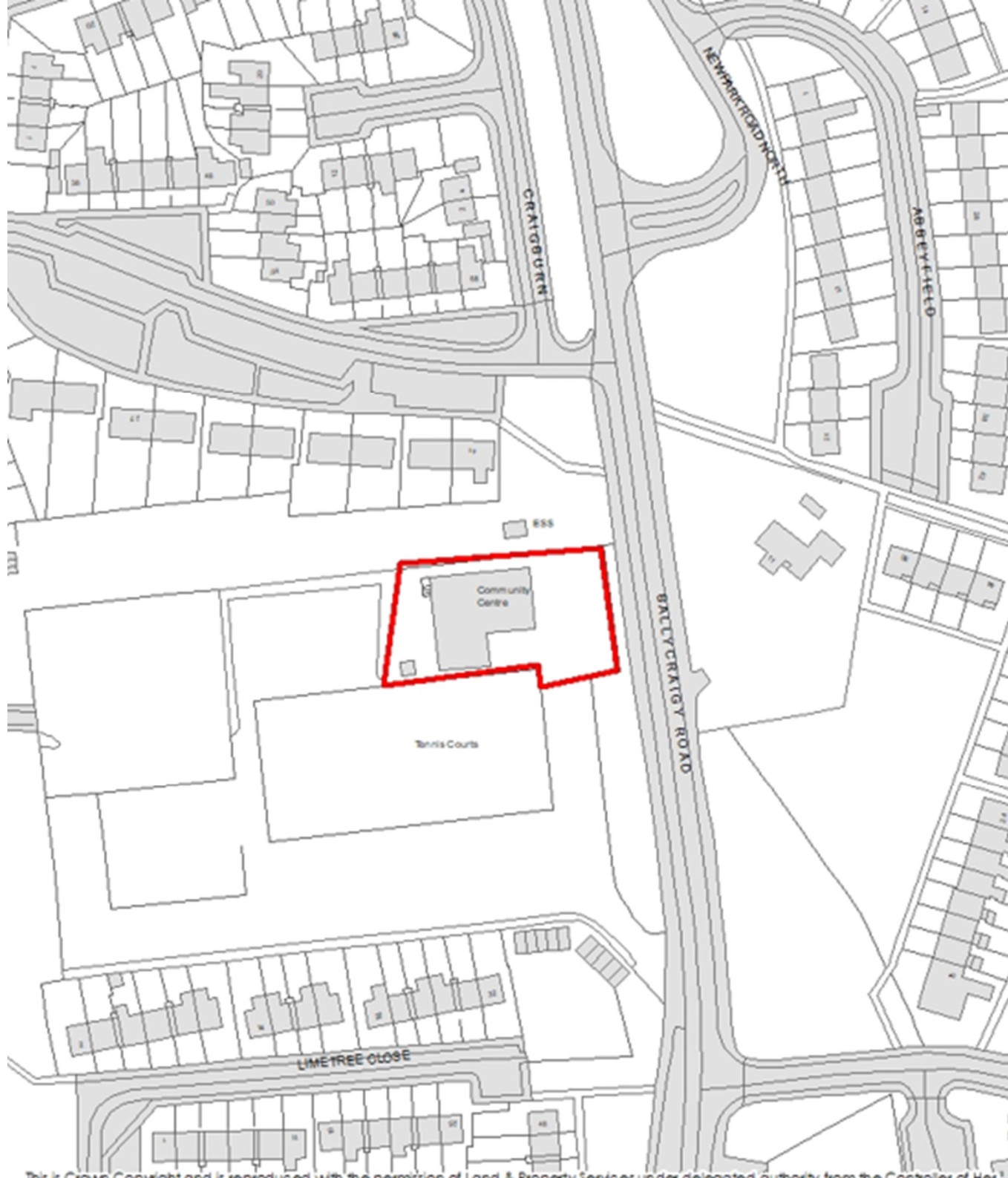
Item 3.15

Planning Application: LA03/2021/1189/F

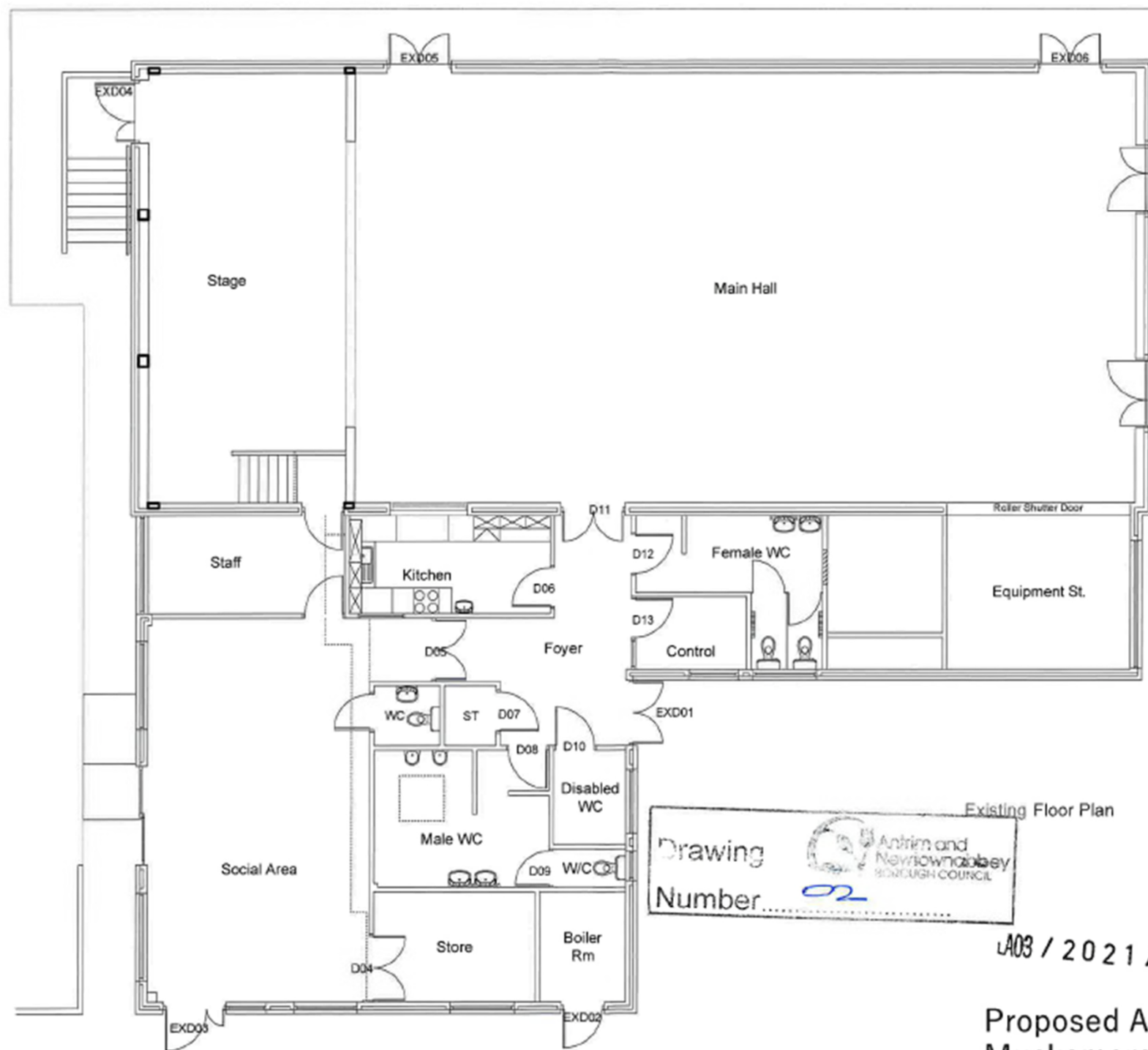
Proposal: Proposed internal and external alterations

Site Address: Muckamore Community Centre
Ballycraigy Road, Antrim

Recommendation: Grant Planning Permission







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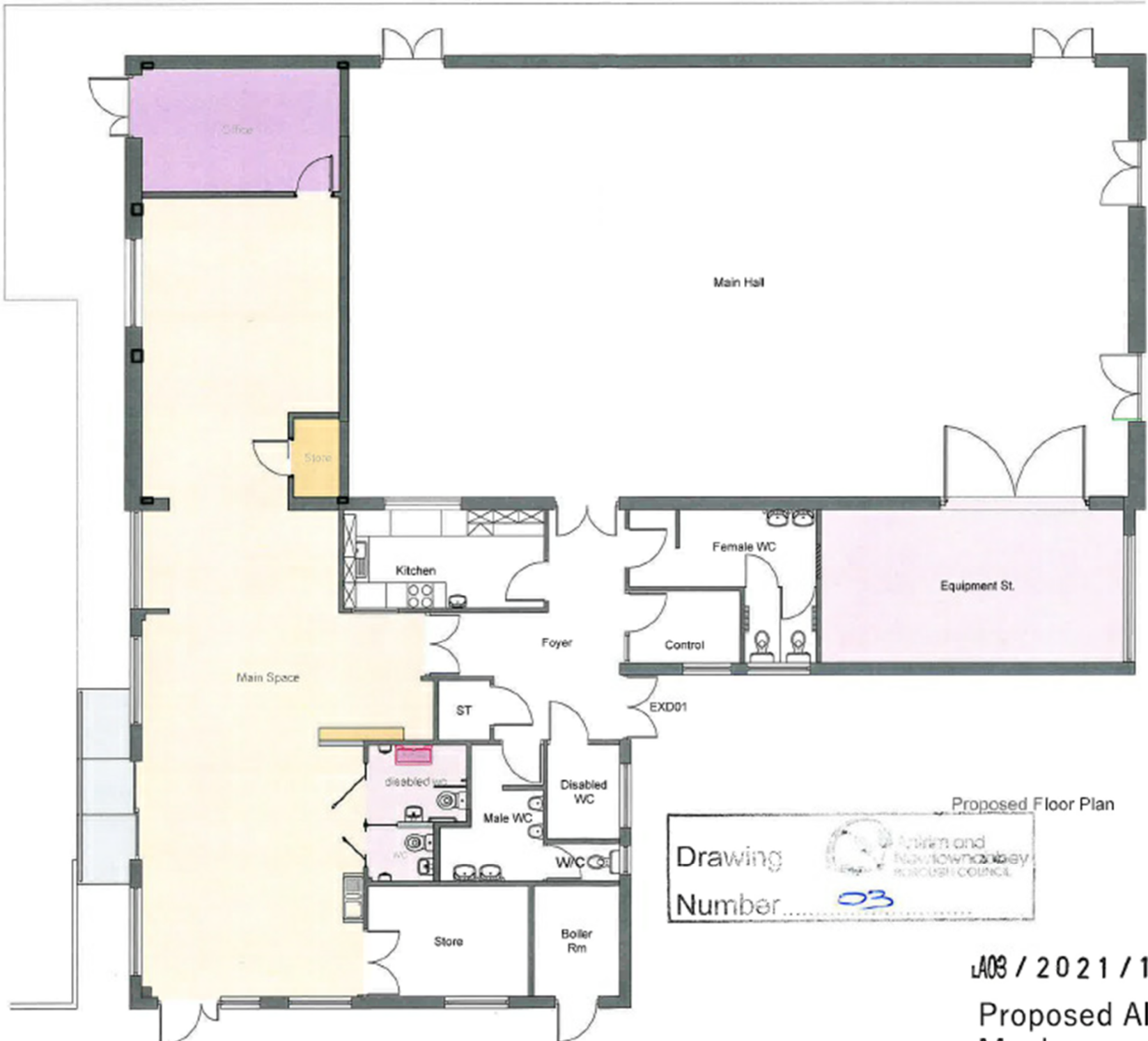
Existing Floor Plan
 Drawing Number... 02
 Antrim and Newtownabbey BOROUGH COUNCIL

Planning Section RECEIVED
 02 DEC 2021
 File No.

A03 / 2021 / 1189

Proposed Alterations to Muckamore Community Centre

Date: November 2021
 Dwg Scale: 1:100



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Drawing
Number..... 03

Antrim and
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LOCAL COUNCIL

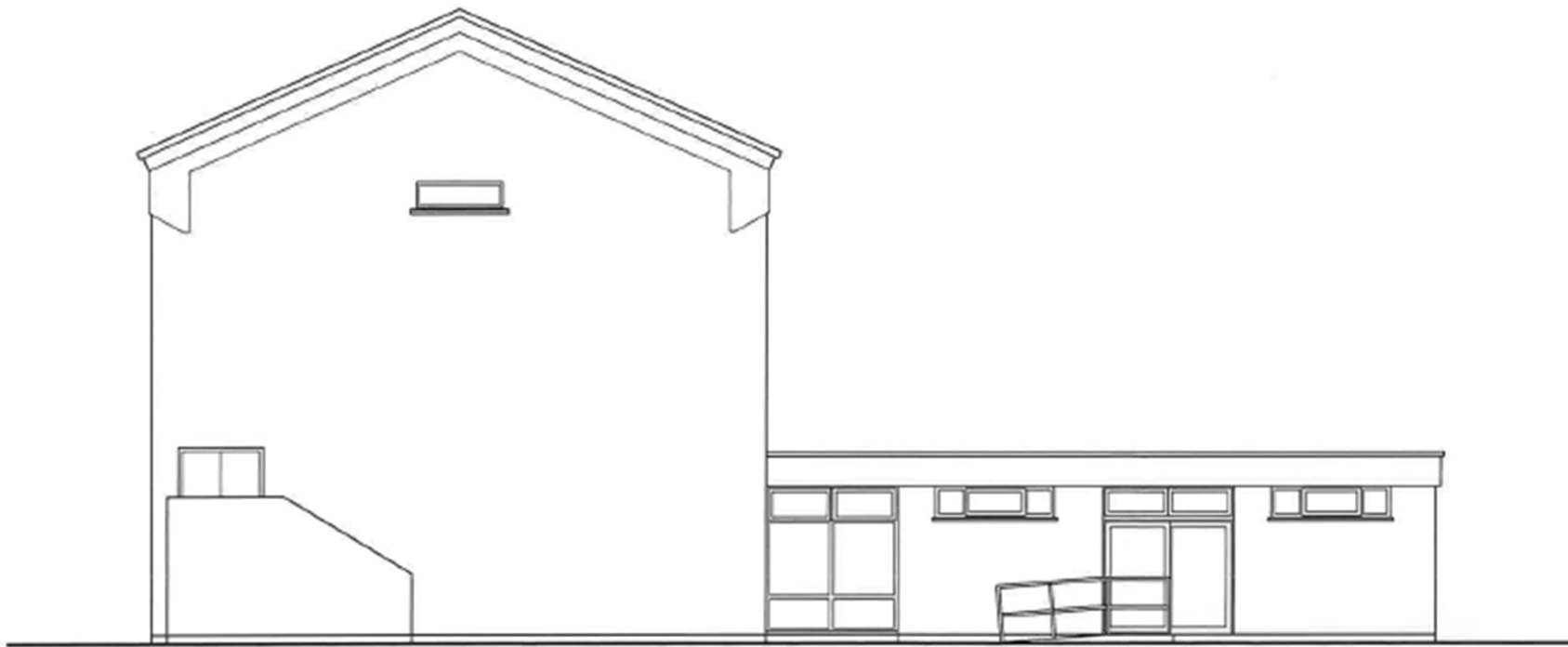
Proposed Floor Plan

Plan
0
File N

LA03 / 2021 / 1189

Proposed Alterations to Muckamore Community C

Date: November 2021



Existing Western Elevation



Drawing
Number..... 04.....



Proposed Western Elevation

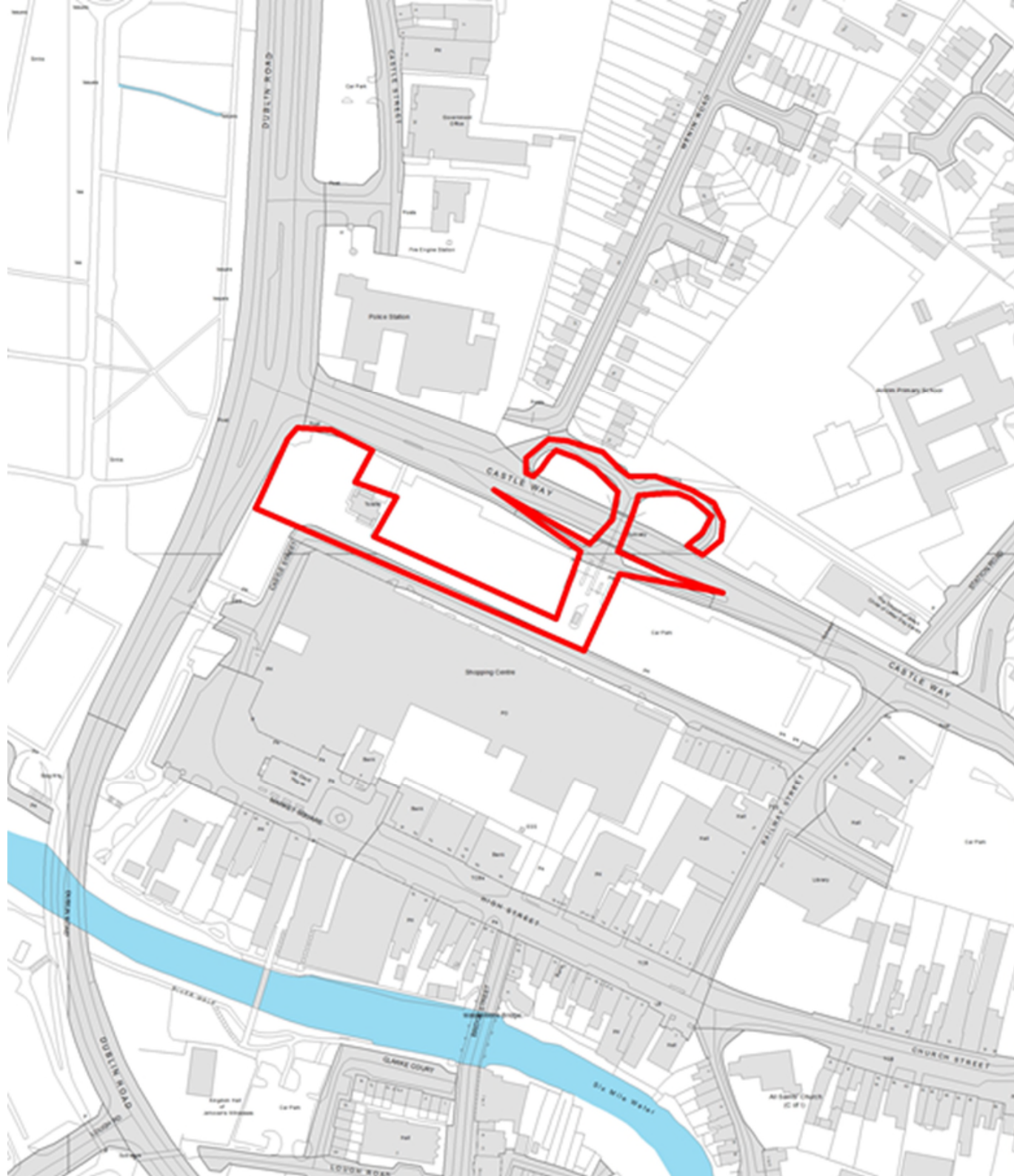
Item 3.16

Planning Application: LA03/2021/0577/DCA

Proposal: Existing toilet block to be completely demolished. Removal of surrounding car parking or new layout

Site Address: Carpark to Castle Mall Shopping Centre 26 Market Square Antrim

Recommendation: Grant Demolition Consent





Here for what matters...
Castle Mill
Google

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PART TWO Other Planning Matters

- **3.17** Delegated Planning Decisions and Appeals
February 2022
- **3.18** Proposal of Application Notification for Major
Developments
- **3.19** Local Development Plan – PAC Dates
for Independent Examination
- **3.20** Local Development Plan: Metropolitan Area Spatial
Working Group – Quarterly Update
- **3.21** Local Development Plan – Draft Plan Strategy, Draft
Statements of Common Ground with Belfast City
Council and Lisburn and Castlereagh City Council
- **4.0** Any Other Business